

CITY OF NORTHAMPTON

JAMES HOUSE

42 GOTHIC STREET, NORTHAMPTON, MA 01060-3199

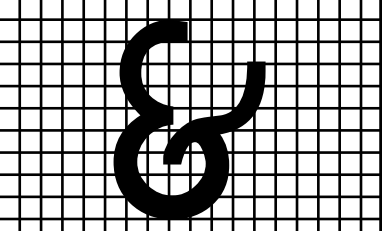
PHASE I - CONSTRUCTION DOCUMENTS

FEBRUARY 9, 2009

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CITY OF NORTHAMPTON
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JAMES HOUSE
RENOVATIONS
42 GOTHIC STREET, NORTHAMPTON, MA 01060-3199

MAP

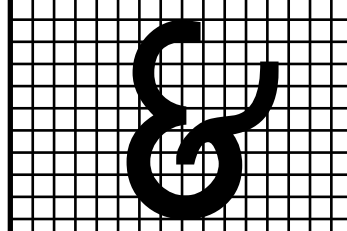
DRAWING LIST

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PROJECT NO: 20859
CAD FILE: 20859a.pln
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CHKD BY: KD
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SHEET TITLE
COVER PAGE

G-001



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CONSULTANT:

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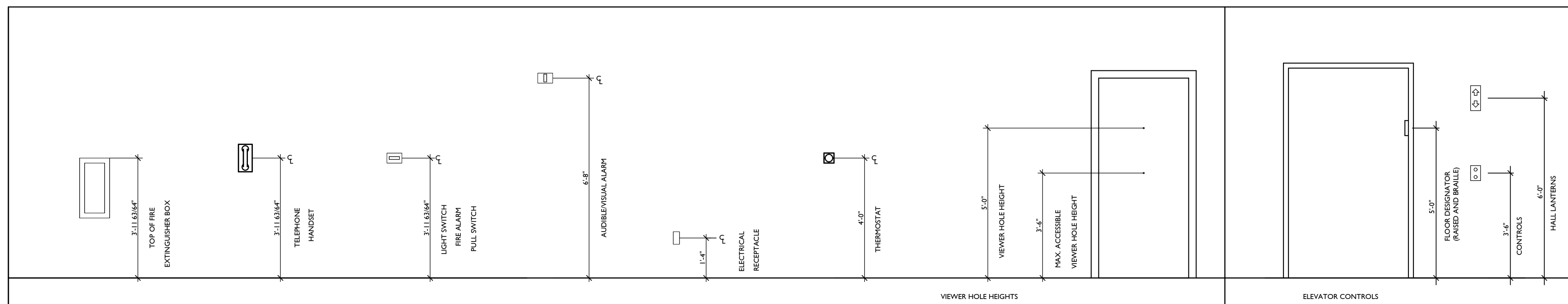
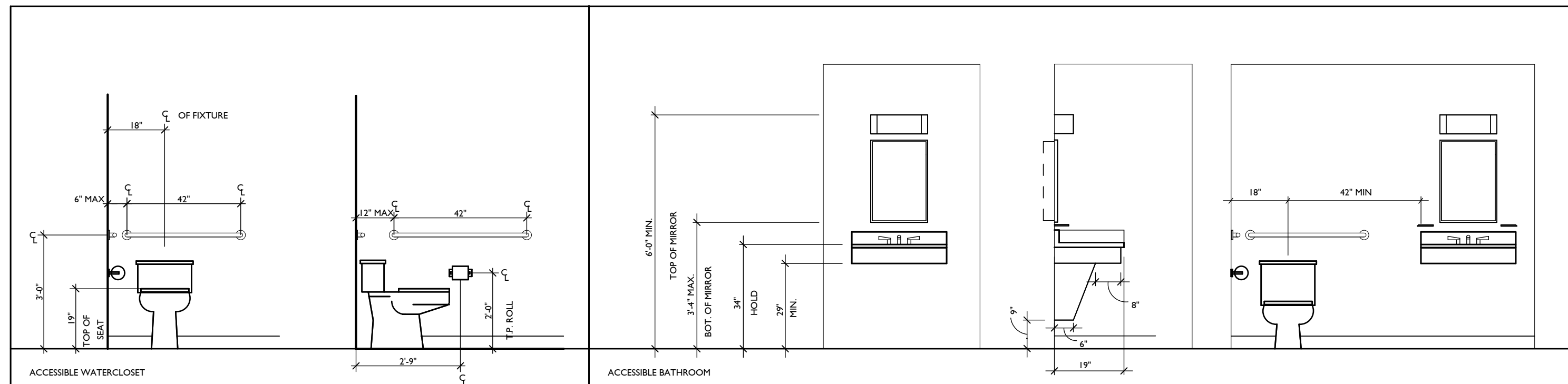
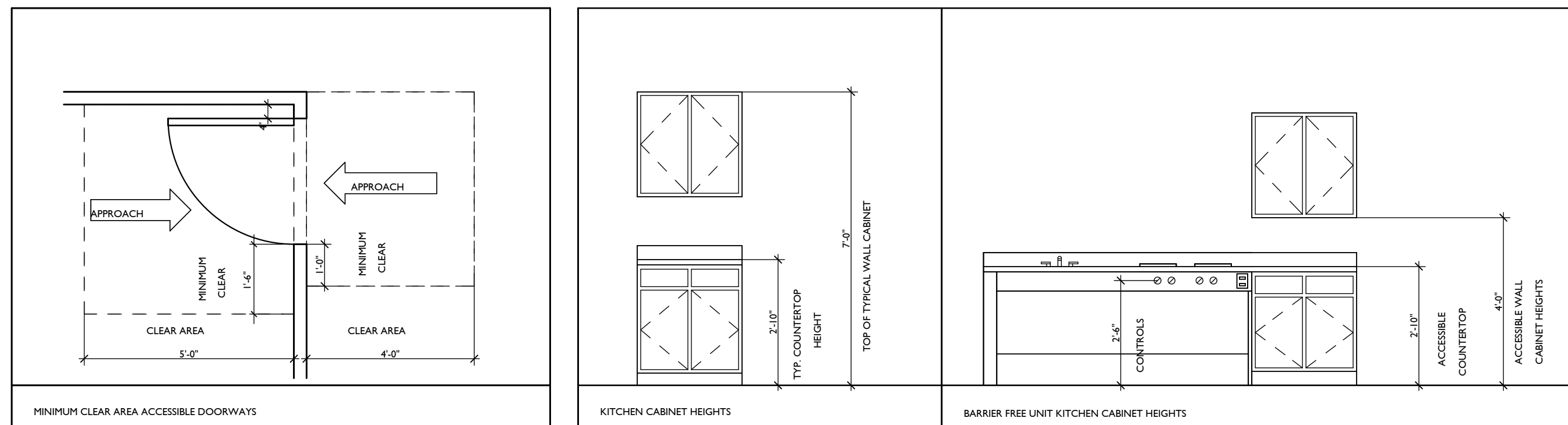
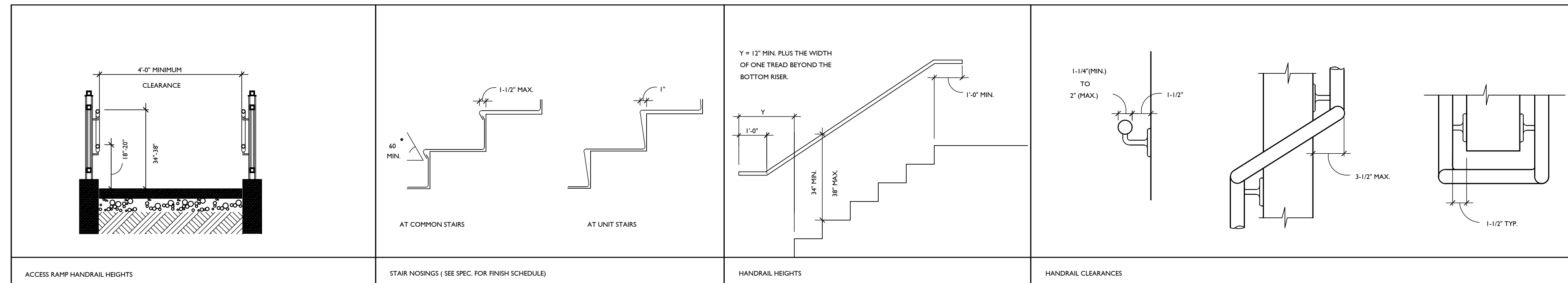
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STANDARD MOUNTING HEIGHTS

G-003


GENERAL SHEET NOTES

SHEET KEY NOTES



BI STANDARD MOUNTING HEIGHTS

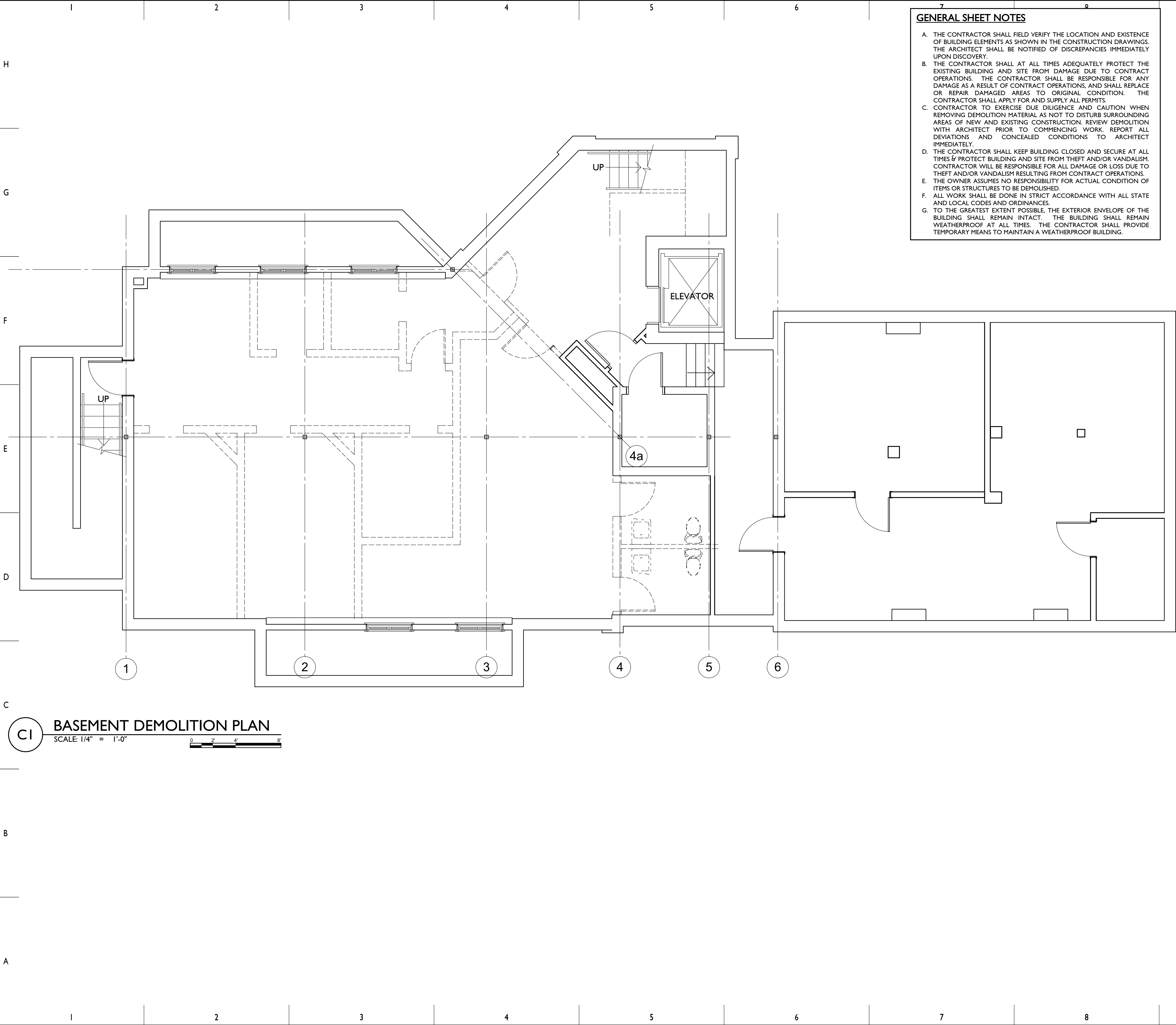
SCALE: 3/8" = 1'-0"



A horizontal scale bar with alternating black and white segments. It is marked with '0', '2'', '4'', and '6''.

SCALE: 3/8" = 1'-0'





- ## GENERAL SHEET NOTES

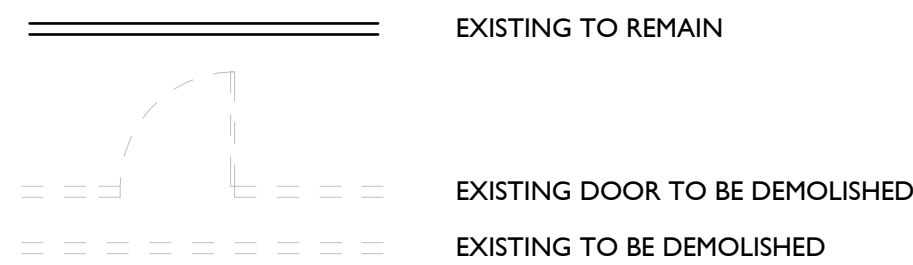
- H. EXISTING CONSTRUCTION TO REMAIN SHALL BE ADEQUATELY SHORED AND BRACED AS REQUIRED UNTIL NEW CONSTRUCTION IS COMPLETE AS REQUIRED TO BRACE THE STRUCTURE.
- I. MAINTAIN EXISTING UTILITIES INCLUDING TO REMAIN, KEEP IN SERVICE AND NOTED AGAINST DAMAGE DURING DEMOLITION OPERATIONS. THE CONTRACTOR SHALL PREPARE AN "AS BUILT" DRAWING INDICATING THE LOCATION OF CAPED OR ABANDONED UTILITIES.
- J. IT IS THE OWNER'S RESPONSIBILITY TO PERFORM ALL TESTING AND HAZARDOUS MATERIALS ABATEMENT WORK REQUIRED FOR NEW WORK.
- K. IT IS NOT THE INTENT OF THESE DEMOLITION DRAWINGS TO SHOW EACH AND EVERY PIECE OF EQUIPMENT, FIXTURE OR MATERIAL TO BE REMOVED, RATHER TO SHOW THE GENERAL EXTENT OF THE WORK. REMOVE ALL DEMOLITION WORK TO WHETHER OR NOT SPECIFICALLY INDICATED, INCLUDING CONCEALED CONDITIONS WHICH MAY BE REASONABLY INFERRED FROM THE EXISTING BUILDING CONFIGURATION, STRUCTURAL SYSTEMS, MECHANICAL, AND ELECTRICAL SYSTEMS. ALL OBSOLETE MATERIAL AND ITEMS ARE TO BE REMOVED. REFER TO ALL CONTRACT DRAWINGS FOR ADDITIONAL DEMOLITION WORK. CONSTRUCTION WORK SHOWN IN ARCHITECTURAL, PLUMBING, FIRE PROTECTION, HVAC AND ELECTRICAL DRAWINGS MAY REQUIRE ADDITIONAL DEMOLITION WORK NOT SHOWN ON DEMOLITION DRAWINGS.
- L. CARRY OUT ALL DEMOLITION WORK TO THE EXTENT INDICATED INCLUDING BUT NOT LIMITED TO FINISHES, FRAMING, ABANDONED WIRING AND PIPING, FIXTURES, ETC. AS REQUIRED TO ACCOMMODATE NEW WORK. CAP TO NEAREST CONCEALED LOCATION OR REMOVE ALL MECHANICAL SYSTEMS NOT SCHEDULED FOR REUSE.
- M. TO REMOVE OR RELOCATE WORK TO VALUABLE FOR HIS OWN USE ANY AND ALL ITEMS NOTED TO BE "REMOVED" DURING THE COURSE OF CONSTRUCTION, ALL MATERIALS INDICATED TO BE REMOVED AND REUSED IN THE PROJECT SHALL BE REMOVED, STORED AND PROTECTED BY THE CONTRACTOR.
- N. WHERE ANY PARTITIONS ARE REMOVED, INFILL THE FLOOR AS NECESSARY TO ALIGN WITH ADJACENT AREAS
- O. WHERE DEMOLITION WORK GOES TO PROTECT AND PRESERVE ANY AND ALL TRIM, ETC THAT IS TO REMAIN EXPOSED OR CONCEALED
- P. ROUGH PATCHING OF ANY AND ALL OPENINGS, HOLES, OR DAMAGED CONSTRUCTION WITHIN THE EXISTING BUILDING SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR. CUTTING, DEMOLITION REPAIR, AND APPLICATION OF ALL FINISHED CONSTRUCTION, INCLUDING BUT NOT LIMITED TO, WOOD TRIM, PLASTER, VCT, CARPET ETC. SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR. FINISHES SHALL MATCH THE EXISTING EXTERIOR FINISHES. EXISTING FIRE-RATING WALLS SHALL BE MAINTAINED & INFILLED TO PROVIDE REQUIRED RATING. PROVIDE SHORING AND LINTELS AS REQUIRED AT NEW WALL OPENINGS.
- Q. REMOVE EXISTING FINISHES ONLY AS REQUIRED FOR NEW WORK. COORDINATE ALL NEW ROOM FINISHES WITH THE OWNER.
- R. DASHED LINES INDICATE EXTENT OF WORK TO BE REMOVED UNLESS NOTED OTHERWISE.
- S. SOLID LINES INDICATE EXTENT OF WORK TO REMAIN UNLESS NOTED OTHERWISE.
- T. ALL EMERGENCY SYSTEMS (FIRE DETECTION, EMERGENCY LIGHTS, ETC.) SHALL REMAIN IN WORKING ORDER AT ALL TIMES.
- U. REMOVE EXISTING FLOORING DOWN TO SLAB OR DECK UNLESS IT IS DETERMINED THAT THE EXISTING FLOORING WILL PROVIDE A SOLID SUBSTRATE FOR NEW FINISHES.
- V. REMOVE EXISTING CEILING MATERIAL BACK TO JOIST/CONCRETE WALLS OR EXISTING CEILING FINISHES.
- W. EXISTING WALL FINISH TO REMAIN AT INTERIOR/EXTERIOR WALLS NOT SCHEDULED TO BE DEMOLISHED.
- X. THROUGHOUT EXISTING BUILDING, REMOVE ALL MECHANICAL, ELECTRICAL, AND PLUMBING ITEMS NOT DESIGNATED AS EXISTING TO REMAIN OR FOR REUSE IN MECHANICAL AND ELECTRICAL DRAWINGS.
- Y. PATCH AND PREPARE CONCRETE FLOORS FOR NEW FINISHES.
- Z. EXISTING EXTERIOR SLAB TRENCHING REQUIRED FOR NEW PLUMBING AND HVAC WORK.
- AA. REMOVE AND SALVAGE EXISTING DOORS
- BB. WHERE ANY PARTITIONS ARE REMOVED, INFILL THE FLOOR AS NECESSARY TO ALIGN WITH ADJACENT AREAS

- CC. PLUMBING DEMOLITION - GENERAL NOTES:
- 1) REMOVE AND DISPOSE OF PLUMBING EQUIPMENT, FIXTURES AND PIPING AS REQUIRED FOR NEW WORK. REMOVAL SHALL BE COMPLETE INCLUDING HANGERS, BRACKETS, VALVES, FITTINGS, INSULATION, AND APPURTENANCES.
 - 2) GUTTER PIPES ARE TO BE CONCEALED WITHIN WALLS, FLOORS OR CEILINGS TO REMAIN. PIPING SHALL BE CAPPED AT THE SURFACE UNLESS SUCH SURFACE WILL BE EXPOSED, IN WHICH CASE PIPING SHALL BE REMOVED TO BEHIND THE FINISHED SURFACE, CAPPED, AND THE SURFACE SHALL BE REPAIRED TO MATCH EXISTING.

- DD. MECHANICAL DEMOLITION - GENERAL NOTES:
- 1) REMOVE AND DISPOSE OF MECHANICAL EQUIPMENT, DUCTWORK AND PIPING AS REQUIRED FOR NEW WORK. REMOVAL SHALL BE COMPLETE INCLUDING HANGERS, BRACKETS, VALVES, FITTINGS, INSULATION, AND APPURTENANCES.
 - 2) WHERE PIPES ARE CONCEALED WITHIN WALLS, FLOORS OR CEILINGS TO REMAIN, PIPING SHALL BE CAPPED AT THE SURFACE UNLESS SUCH SURFACE WILL BE EXPOSED, IN WHICH CASE PIPING SHALL BE REMOVED TO BEHIND THE FINISHED SURFACE, CAPPED, AND THE SURFACE SHALL BE REPAIRED TO MATCH EXISTING.

- EE. ELECTRICAL DEMOLITION - GENERAL NOTES:
- 1) REMOVE ELECTRICAL DEVICES INCLUDING LIGHTS, SWITCHES, RECEPTACLES, BACK BOXES, ETC. WITHIN RENOVATION AREA. WIRING AND CONDUIT NO LONGER IN SERVICE SHALL BE REMOVED BACK TO SOURCE.
 - 2) EXISTING ELECTRICAL ITEMS THAT ARE BEING REMOVED AND NOT RE-USED SHALL BE DISPOSED OF AS DIRECTED BY OWNER.
 - 3) ABANDONED DEVICES AND ELECTRICAL WIRING SHALL BE REMOVED COMPLETELY.
 - 4) NOTIFY CONTRACTOR OF OPENINGS CAUSED BY REMOVAL OF EXISTING ELECTRICAL EQUIPMENT IN WALL THAT ARE NOT BEING DEMOLISHED. INSURE THAT PATCHING IS COMPLETE.

DEMOLITION LEGEND

[illegible]

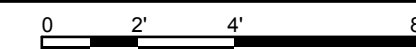
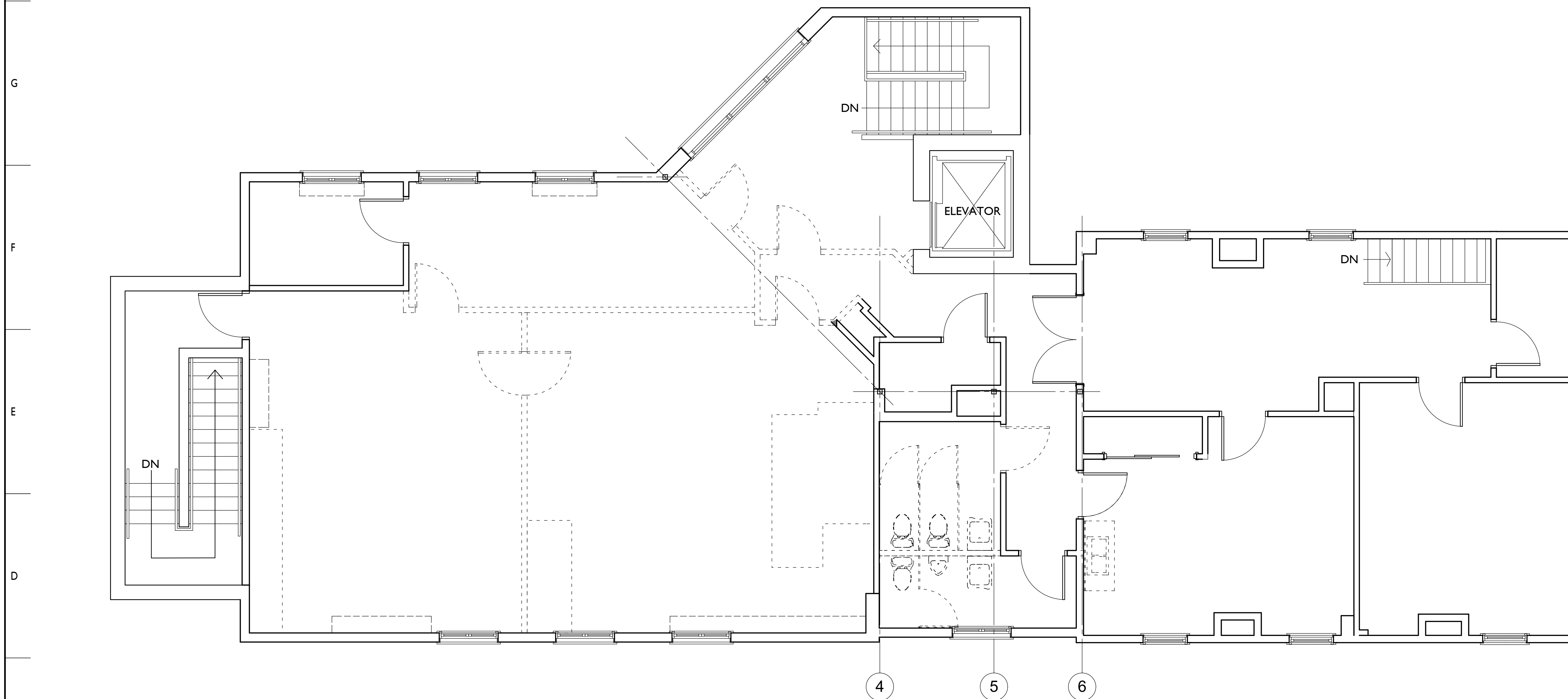


Diagram illustrating the existing building footprint and proposed additions. The existing building footprint is shown as a solid black outline. The proposed additions are shown as dashed outlines. The additions include a new wing on the left side and a new wing on the right side, both connected to the existing building footprint. The diagram is labeled with 'EXISTING TO REMAIN' and 'EXISTING DOOR TO BE DEMOLISHED'.

PROJECT NO:	20859
CAD FILE:	20859a.pln
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CHK'D BY:	KD
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SHEET TITLE

SECOND FLOOR
DEMOLITION
PLAN



CI SECOND FLOOR DEMOLITION PLAN
SCALE: 1/4" = 1'-0" 0 2' 4' 8'

A horizontal number line with tick marks at 0, 2, 4, and 8. The numbers are placed below the line.

GENERAL SHEET NOTES

1. SEE AD-101 FOR ADDITIONAL GENERAL SHEET NOTES.

DEMOLITION LEGEND

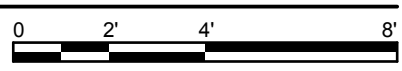
	EXISTING TO REMAIN
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EXISTING DOOR TO BE DEMO

EXISTING TO BE DEMOLISHED



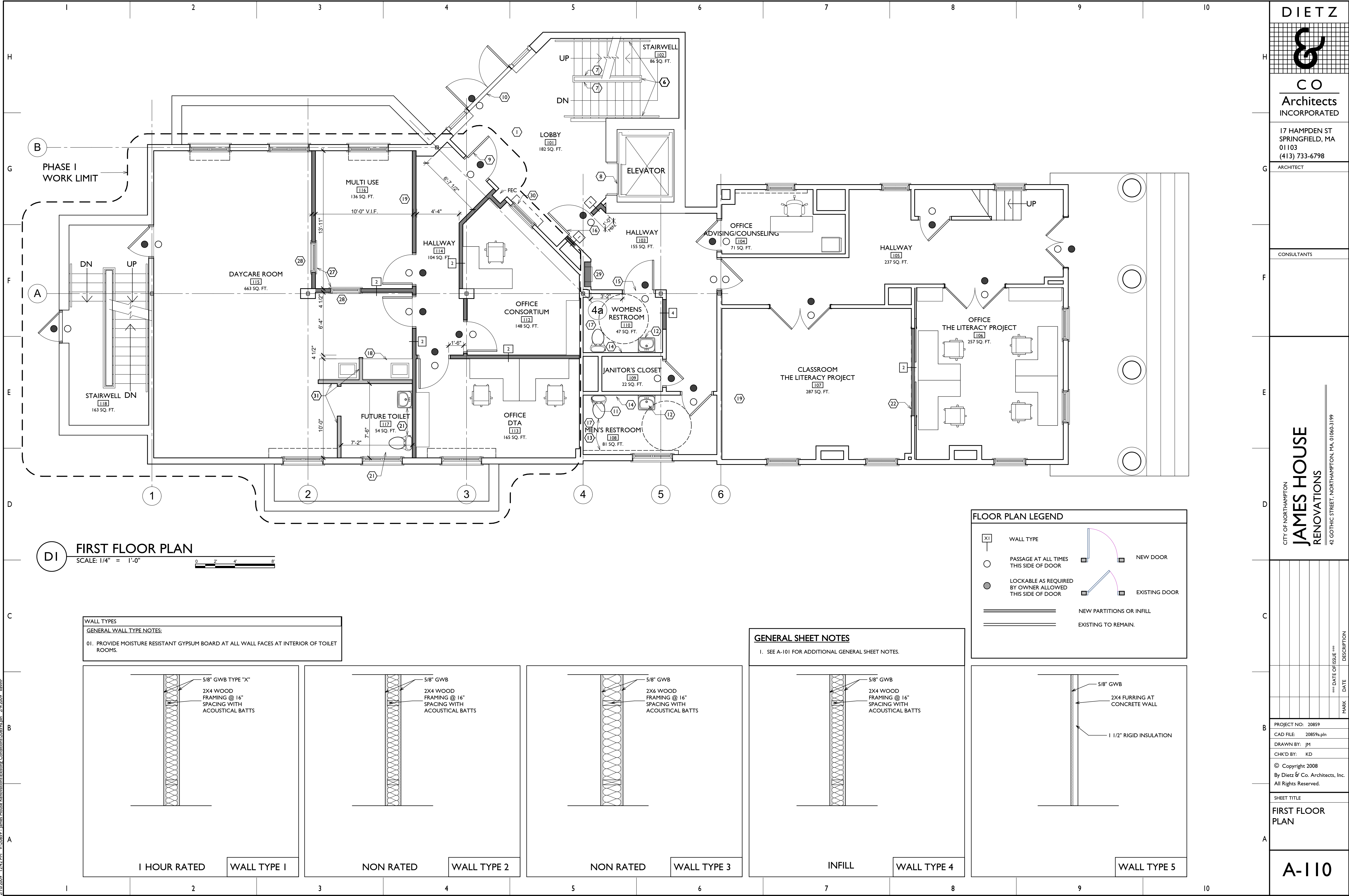
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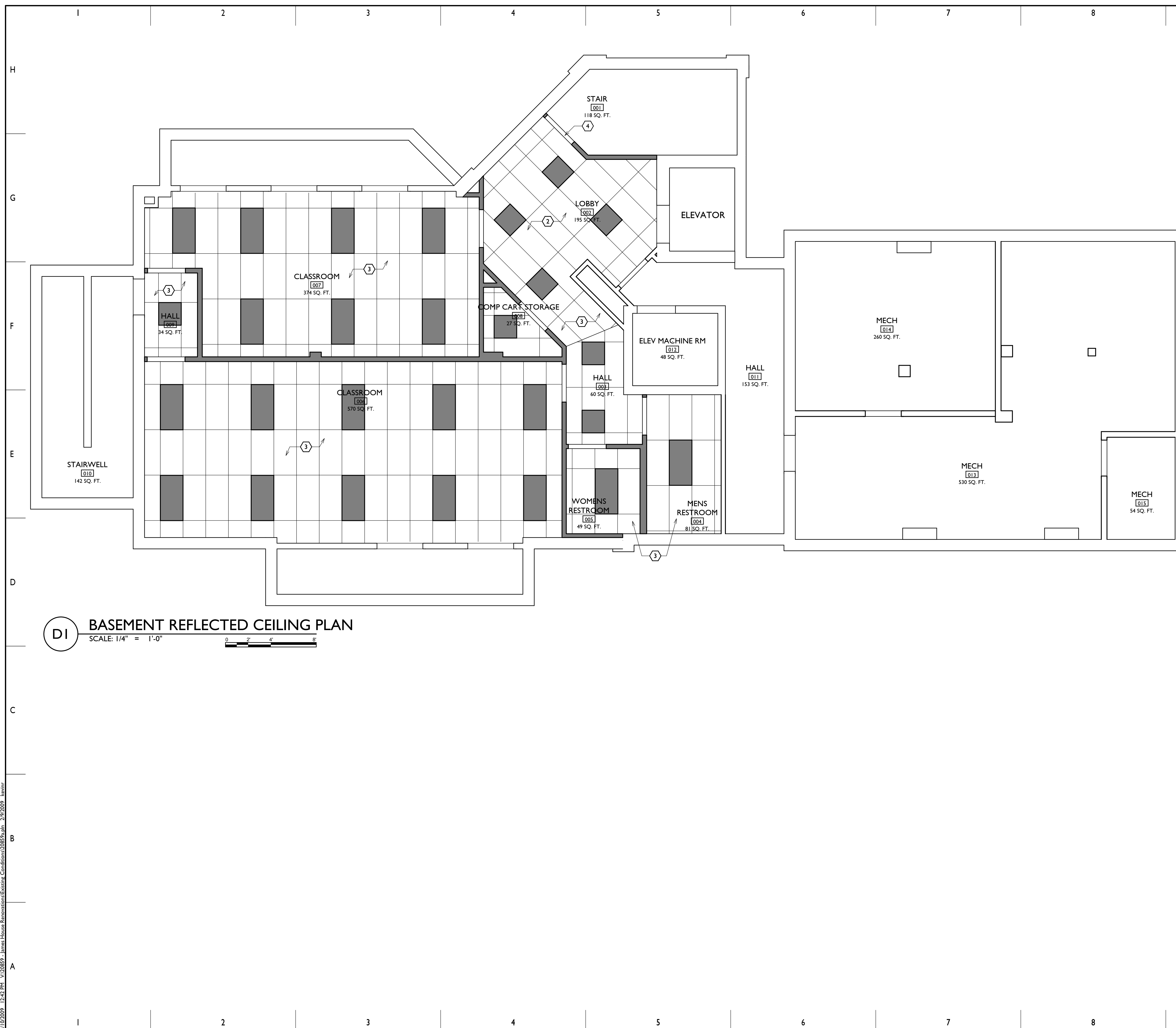


1. PROVIDE 5/8" TYPE-X" GYPSUM BOARD AT THE UNDERSIDE OF ALL FLOOR FRAMING ADJACENT TO RATED SPACES. REMOVE AND REINSTALL EXISTING SUSPENDED CEILINGS WHERE REQUIRED.
2. CONSTRUCT COLUMN ENCLOSURE WITH 2X4 STUDS @ 5/8" GYPSUM BOARD.
3. ALIGN NEW WALLS WITH EXISTING WALLS, CORNERS OR EDGES OF EXISTING WINDOWS.
4. FURR OUT WALL TO ALIGN WITH EXTERIOR WALL JOG.
5. PROVIDE PAINTED WOOD SILL & SILL APRON AT EXISTING WINDOWS.
6. MODIFY EXISTING HANDRAILS TO BE 2'-10" MINIMUM ABOVE STAIR NOSING.
7. INSTALL PLEXIGLASS SHIELD AT ALL BALLISTER LOCATIONS TO CREATE 3' MINIMUM OPENING AT GUARD RAILS.
8. ADD OR REPAIR RE-OPENING DEVICE AT ELEVATOR PER NAAB 28.6.3 AT FLOOR DECK.
9. REPLACE EXISTING PANIC HARDWARE WITH LOW PROFILE EXIT DEVICES. MODIFY OR REPLACE DOOR & FRAME AS REQUIRED.
10. REMOVE EXISTING MAIN ENTRANCE DOOR & FRAME. MODIFY HEAD, JAMB & SILL TO ACCOMMODATE NEW STOREFRONT DOORS & FRAME. PROVIDE NEW TRIM AT EACH SIDE TO MATCH EXISTING APPEARANCE.
11. REPLACE FLUSH VALVE AT TOILET FLUSH HANDLE AWAY FROM CORNER.
12. REPLACE EXISTING WALL MOUNTED LAVATORY SINK WITH NEW LOW-PROFILE ACCESSIBLE SINK WITH STANDARD "LUCERNE" MODEL OR EQUAL. FAUCETS TO HAVE LEVER CONTROLS.
13. MODIFY EXISTING HEATING UNIT OR TOILET TO PROVIDE 42" CLEARANCE FROM THE FRONT EDGE OF THE TOILET TO ANY OBSTRUCTION.
14. RELOCATE ALL TOILET ACCESSORIES AS REQUIRED TO MEET MOUNTING REQUIREMENTS SHOWN ON SHEET G-003.
15. INSTALL NEW DOOR & FRAME TO PROVIDE CORRECT TOILET ROOM CLEARANCES.
16. RECONSTRUCT DOOR & SURROUNDING WALLS TO MEET 12" PUSH SIDE CLEARANCE REQUIREMENTS. DOOR & WALLS TO BE 1 HOUR RATED PATCH CEILING TO MATCH EXISTING & INSTALL NEW FLOORING AS PER FINISH SCHEDULE.
17. PROVIDE 2 NEW 36" GRAB BARS WITH KNURLS FINISH AT EACH NEW TOILET LOCATION. PROVIDE RECESSED TOILET PAPER DISPENSER, SOAP DISPENSER & PAPER TOWER DISPENSER. COORDINATE REQUIREMENTS WITH OWNER. SEE SHEET G-003 FOR MOUNTING REQUIREMENTS.
18. INSTALL 4" SINK BASE & 5" SINK BASE WITH PLASTIC LAMINATE COUNTERTOP AND 6" DIVIDER BETWEEN CABINETS. PROVIDE 6" WALLS CABINETS ABOVE. SINK BASE TO BE ACCESSIBLE WITH ROLL UNDER CAPABILITY. PROVIDE END PANEL FOR SUPPORT OF SINK BASE IF FUTURE TOILET ROOM IS NOT CONSTRUCTED.
19. COORDINATE ALL TOILET AND MARKER-BOARD LOCATIONS & DIMENSIONS WITH THE OWNER.
20. COMPUTER CART STORAGE ROOM TO BE PROVIDED WITH OUTLETS FOR EQUIPMENT RECHARGING. COORDINATE REQUIREMENTS WITH OWNER.
21. ROUGH-IN PLUMBING FOR FUTURE TOILET ROOM & CAP IN WALLS & AT FLOOR.
22. INSTALL NEW WALL AT EXISTING POCKET DOOR LOCATION. DOOR TO REMAIN IN PLACE & BE FIXED IN CLOSED POSITION.
23. EXISTING ACCESS PANEL TO SUMP HIT & SUMP. ROOF DRAIN LEADER TO REMAIN.
24. NEW FOLDING ACOUSTIC PARTITION WALL WITH CEILING & FLOOR TRACKS. COORDINATE MOUNTING REQUIREMENTS WITH OWNER'S STRUCTURAL ENGINEER. CONSTRUCT WALLS AS REQUIRED TO ALLOW STACKED STORAGE. PANELFOLD SERIES 400 OR EQUAL.
25. NEW LOW WALL WITH PAINTED WOOD CAP & CAP TRIM. WALL TO BE 3' HIGH ABOVE FINISH FLOOR.
26. RECONSTRUCT TOILET ROOMS AS REQUIRED TO PROVIDE ACCESSIBLE CLEARANCES. RELOCATE EXISTING TOILET FIXTURES & PROVIDE NEW SINKS. VERIFY NEW WALL LOCATION WITH EXISTING HEATING UNITS.

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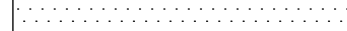



GENERAL SHEET NOTES

- A. SEE DEMOLITION PLAN FOR LOCATIONS OF CEILINGS TO BE REMOVED.
- B. VERIFY IN FIELD CEILING HEIGHTS. ALL CEILING HEIGHTS TO MATCH EXISTING.
- C. LIGHTING LAYOUTS SHOWN ARE SUGGESTED LAYOUTS ONLY. CONTRACTOR TO COORDINATE EXISTING LIGHT FIXTURES, LIGHT FIXTURE SPACING, ETC. TO PROVIDE ADEQUATE ILLUMINATION OF SPACES. PROVIDE NEW LIGHTING FIXTURES AS REQUIRED.
- D. FIRESTOP PENETRATIONS THROUGH EXISTING GWB CEILING.

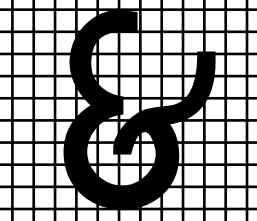
SHEET KEYNOTES

1. SEE DEMOLITION PLAN FOR LOCATIONS OF CEILINGS TO BE REMOVED.
2. SEE NOTE 1 ON SHEET A-100 FOR GYPSUM BOARD AT CEILINGS OF FIRE RATED SPACES.
3. PROVIDE 1/2" TYPE "X" GYPSUM BOARD AT UNDERSIDE OF ALL WOOD FRAMED AREAS TO RELIEVE NEW SUSPENDED CEILINGS. (NOT REQUIRED IF SPACES ABOVE CEILINGS ARE SPRINKLED)
4. CUT, PATCH, AND MODIFY EXISTING CEILING TO REMAIN TO ACCOMMODATE NEW CONSTRUCTION.
5. MOVEABLE PARTITION CEILING TRACK. COORDINATE REQUIREMENTS WITH PARTITION MANUFACTURER.

CEILING LEGEND

	CABINET SOFFIT LOCATION
	PARTITIONS/INFILL
	EXISTING FRAMING/WALLS
	SOFFIT HGT. IS ___ IN. BELOW CEILING UNLESS NOTED OTHERWISE

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CK'D BY:	KD
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ASSESSMENT
CEILING PLAN

A-701

